

mir

SANARC RISE



@ Tejgaon



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LOCATION

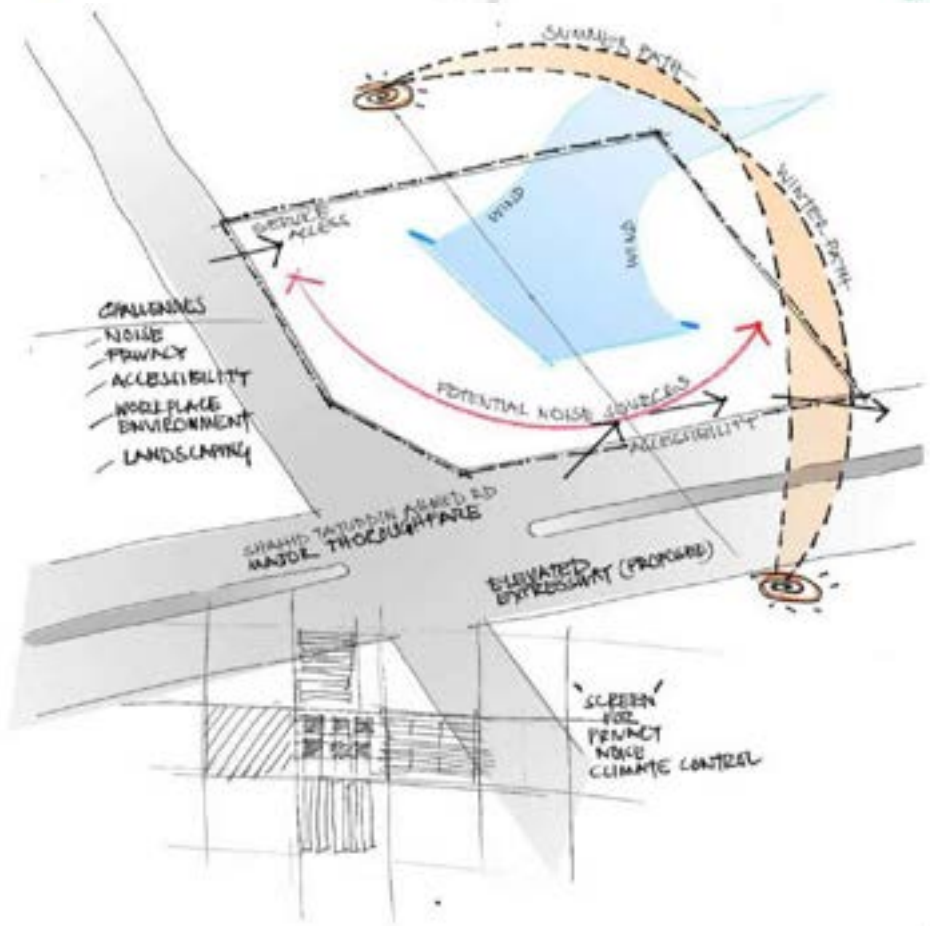
“MIR SANARC RISE” is located at 76, Shaheed Tajuddin Ahmed Sarani, Dhaka 1208





SITE APPRAISAL
LOCATION

SITE PLAN

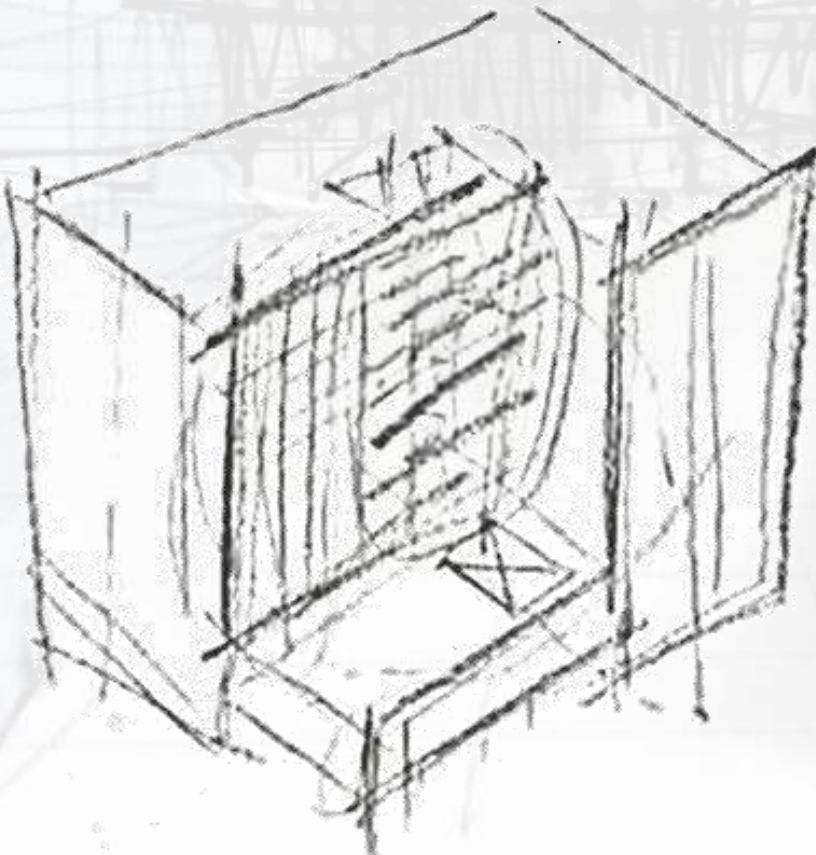
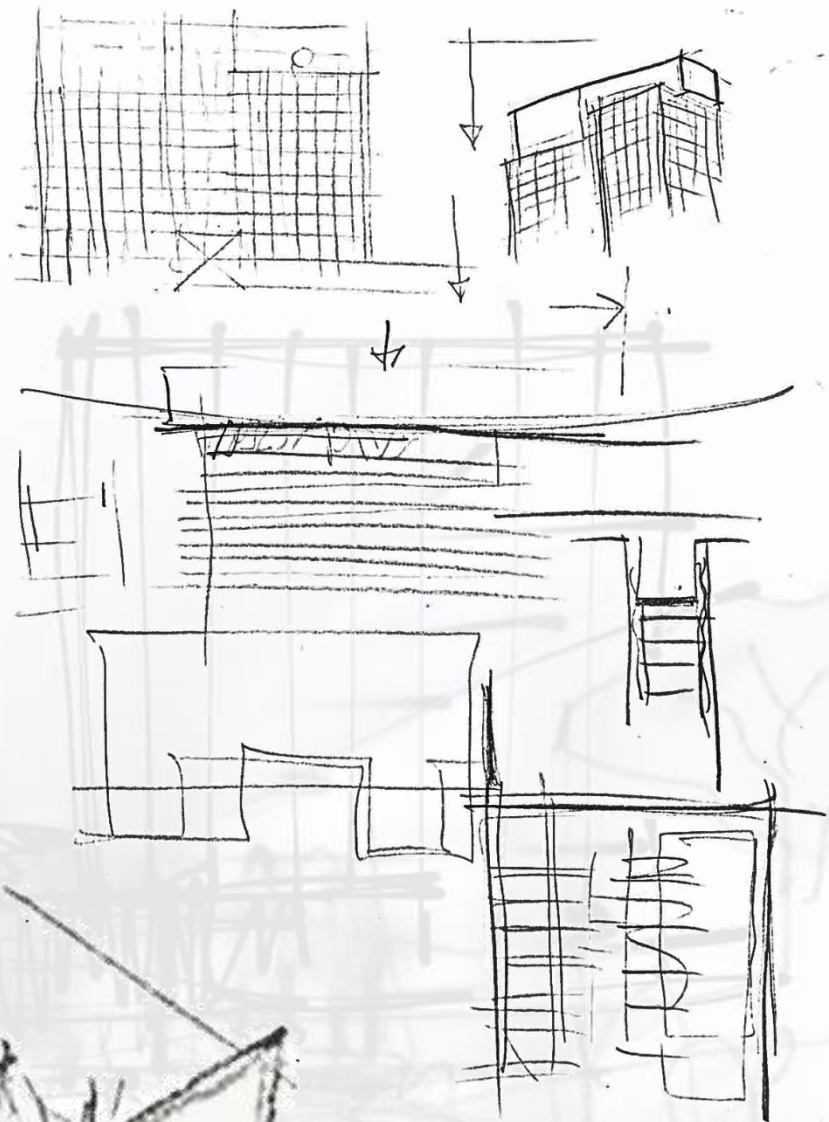




CONCEPT

The buildings are designed to provide tenants with a healthy work environment, with low water and energy consumption.

The materials selected for the construction have low environmental impact while the internal and external lighting solutions are according to best practices and will all be low energy.



Natural light



Low water & energy consumption




LED lighting



High flexibility for partitioning

PROJECT OVERVIEW



The project is designed to provide everything that people need to work productively and yet live life to the full.

The buildings have generous receptions creating an excellent first impression to visitors, and all floors enjoy excellent natural light and high flexibility for partitioning.

Comprising 13 storied (G+12) building with 04 Basements, a 37.25 Katha Land surface of total 2,83,436 sft built area, is located at Tejgaon industrial area , just a few minutes walk away from bus-stop, and metro stations, will be another outstanding commercial project development by Mir.



HIGHLIGHTS

ENTHRALLING
ENTRY VIEW

RAISED
PODIUM

24-HOUR
SECURITY

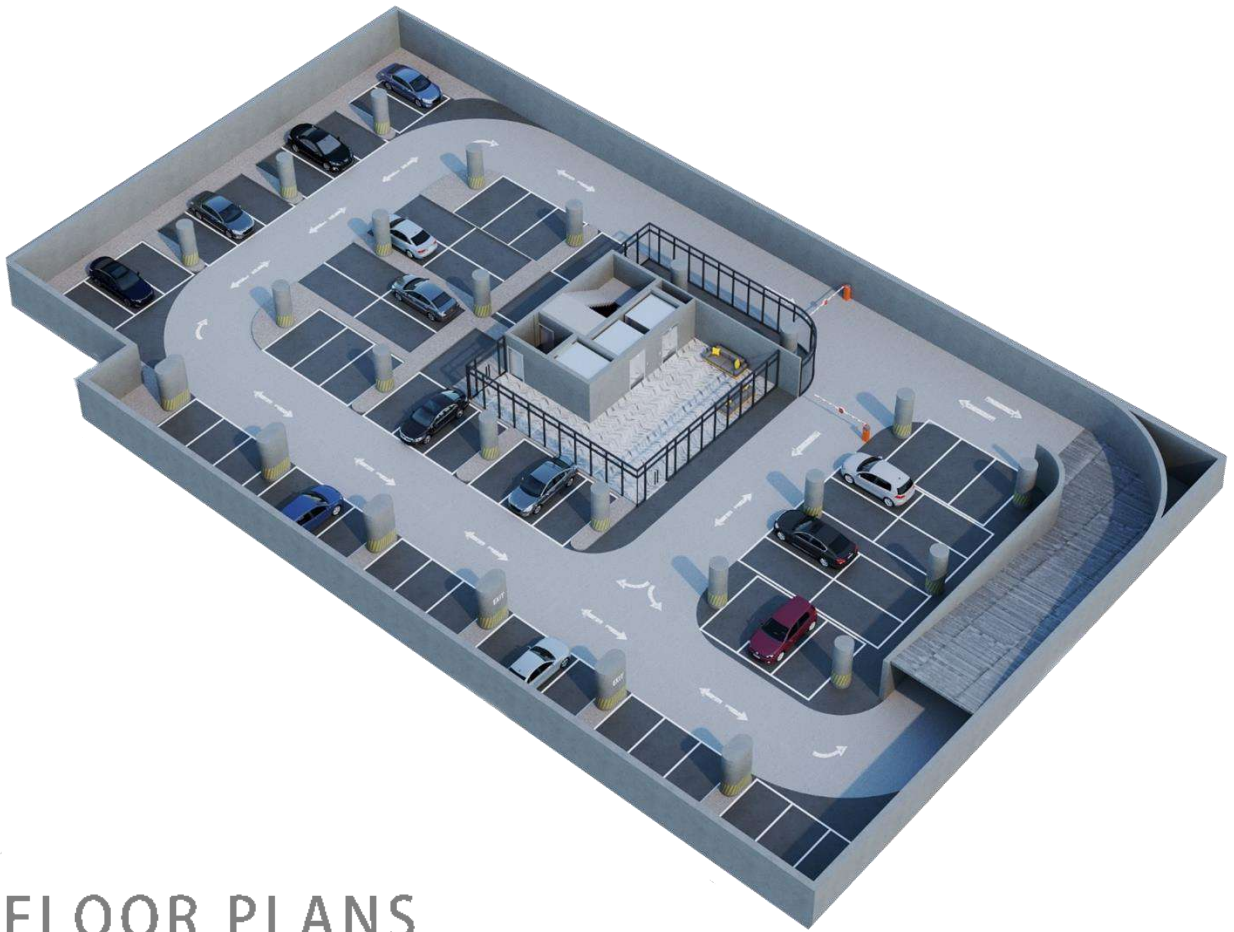
220 CAR
PARKINGS

BMS-BUILDING
MANAGEMENT
SYSTEM

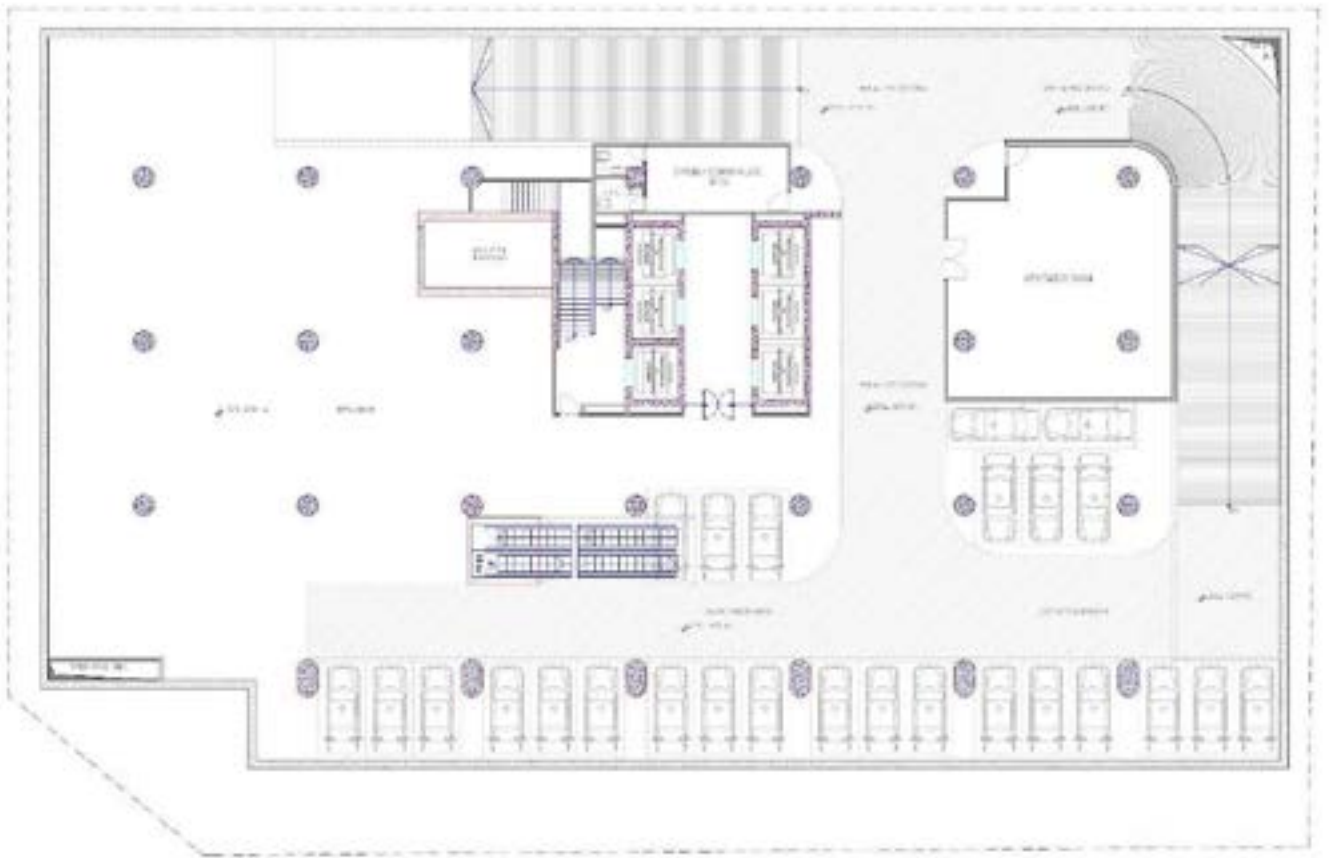
OPEN TO SKY
TERRACE

OPEN FLOOR
PLANS

ROOFTOP
HELIPAD



FLOOR PLANS

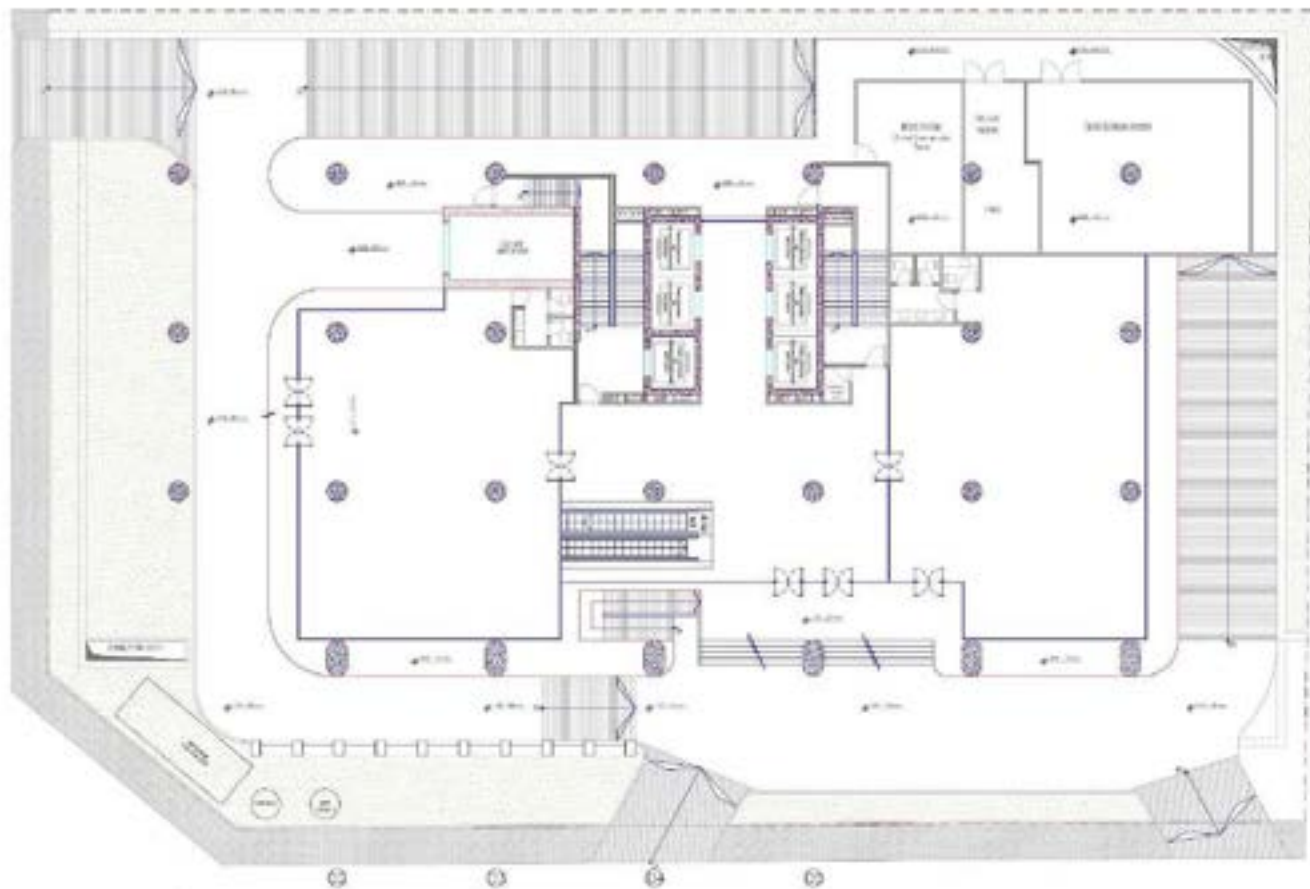



BASEMENT 01 FLOOR PRESENTATION PLAN
 NUMBER OF CAR PARKING
 26 K01

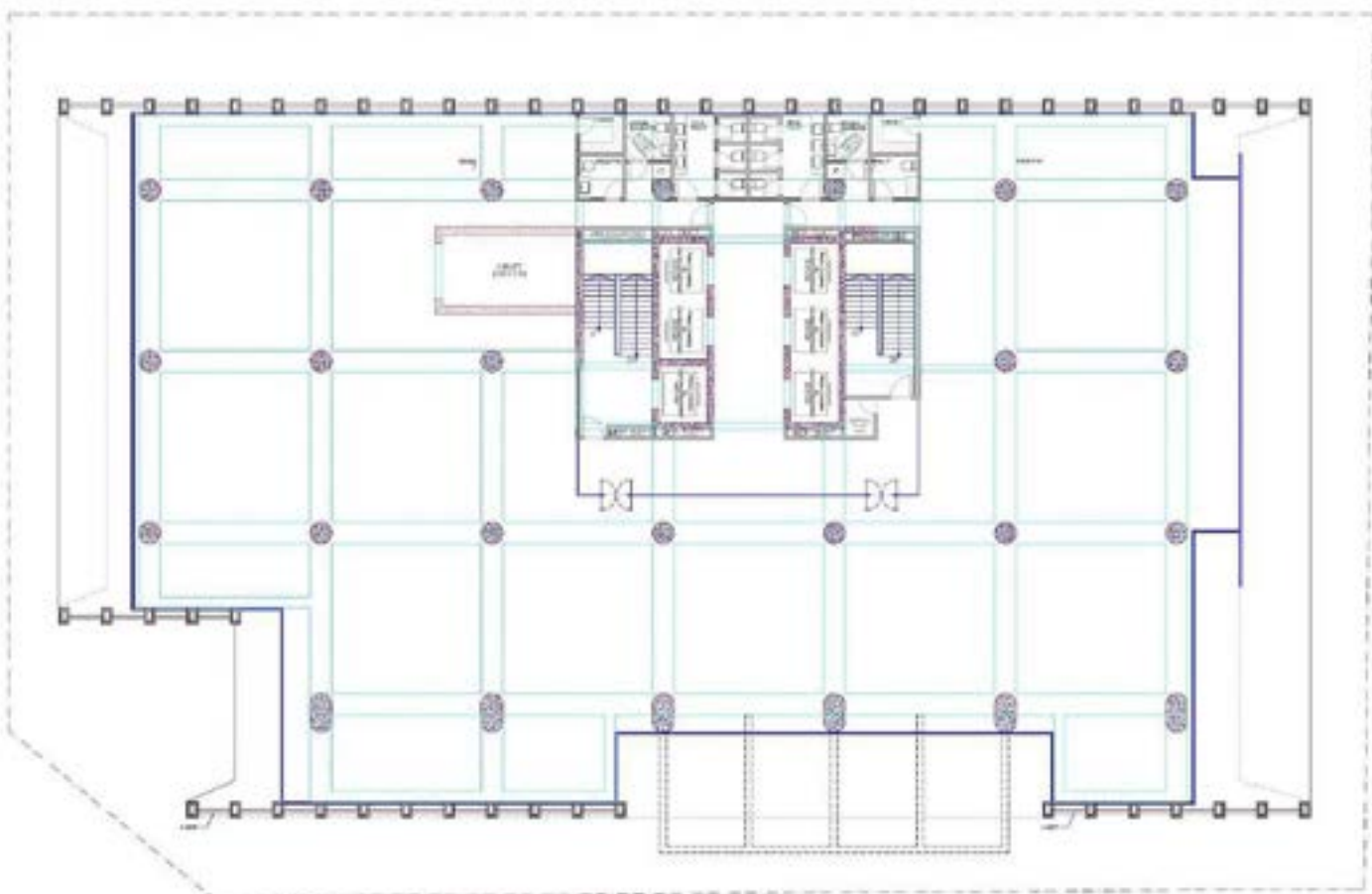


Car Showroom





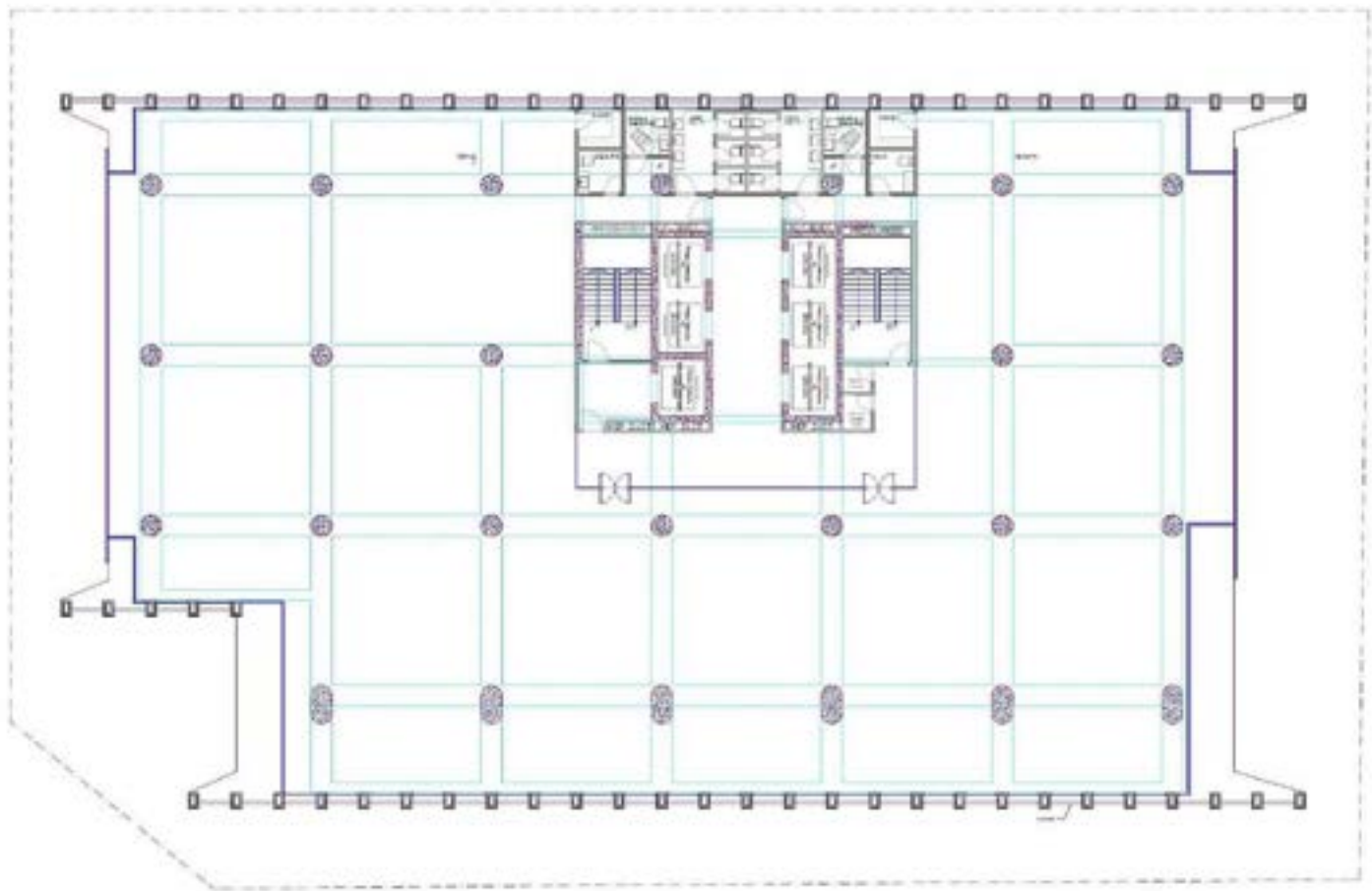
← GROUND FLOOR PRESENTATION PLAN



← 1ST FLOOR PRESENTATION PLAN



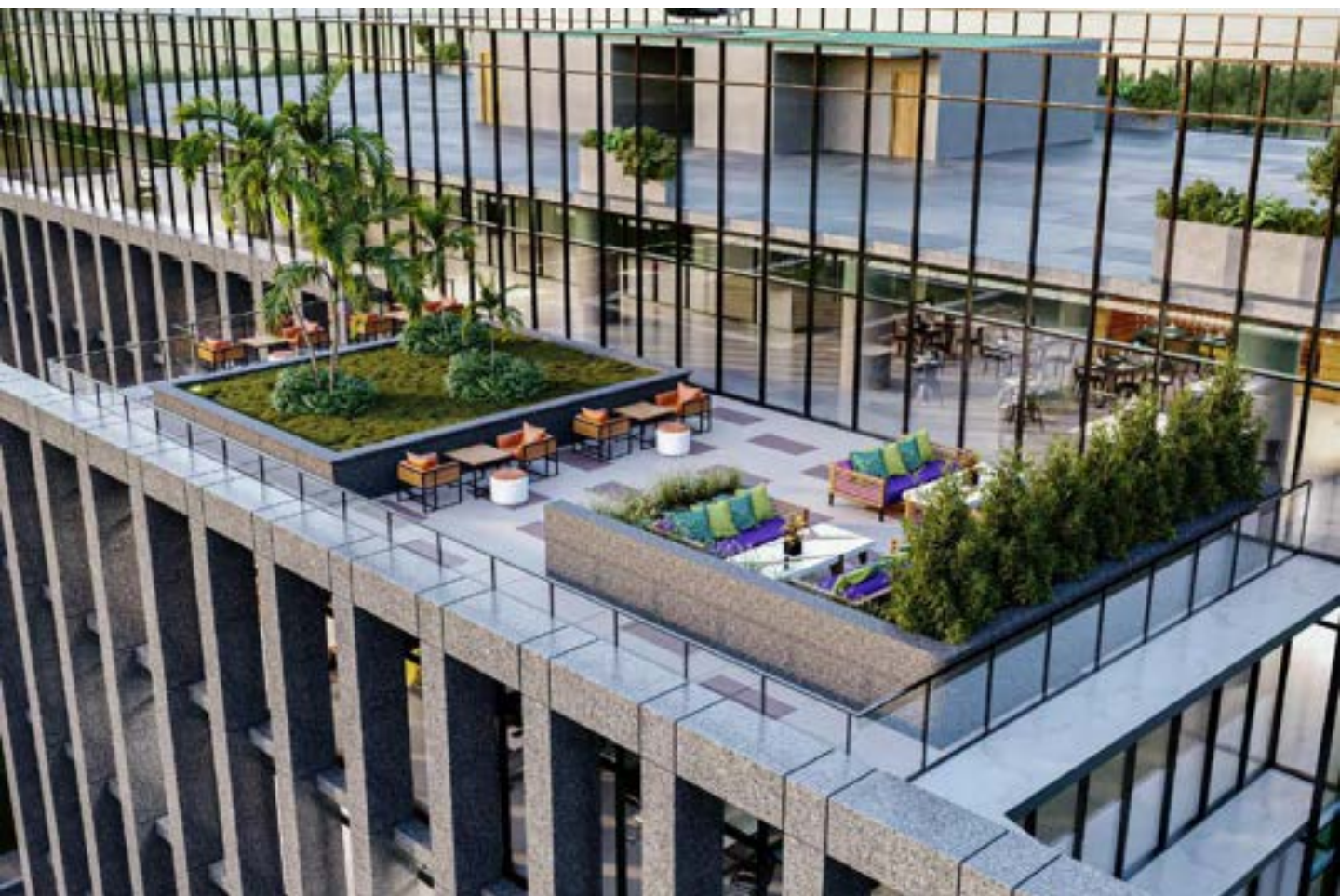
Office space interior

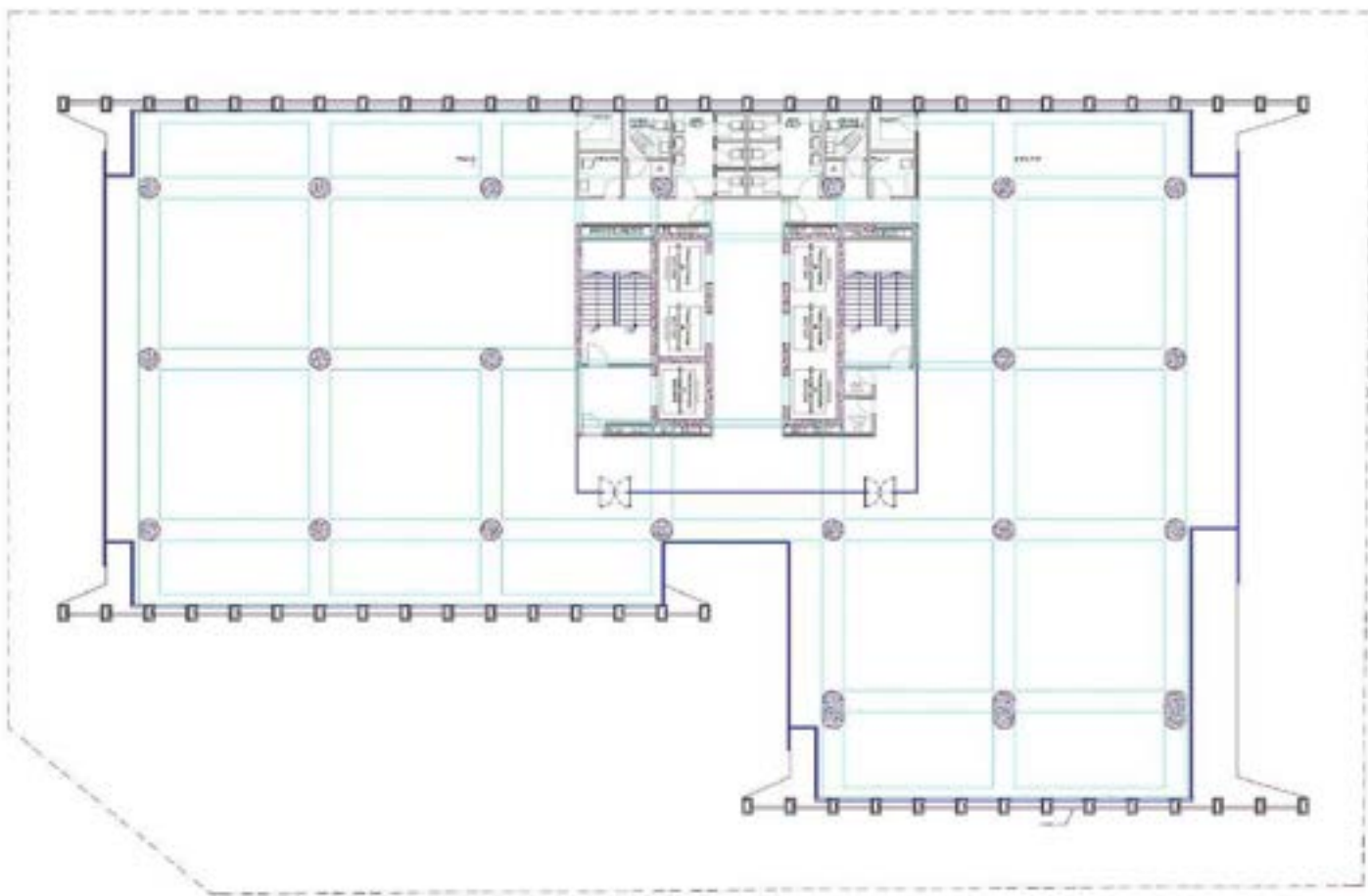


2ND FLOOR PRESENTATION PLAN

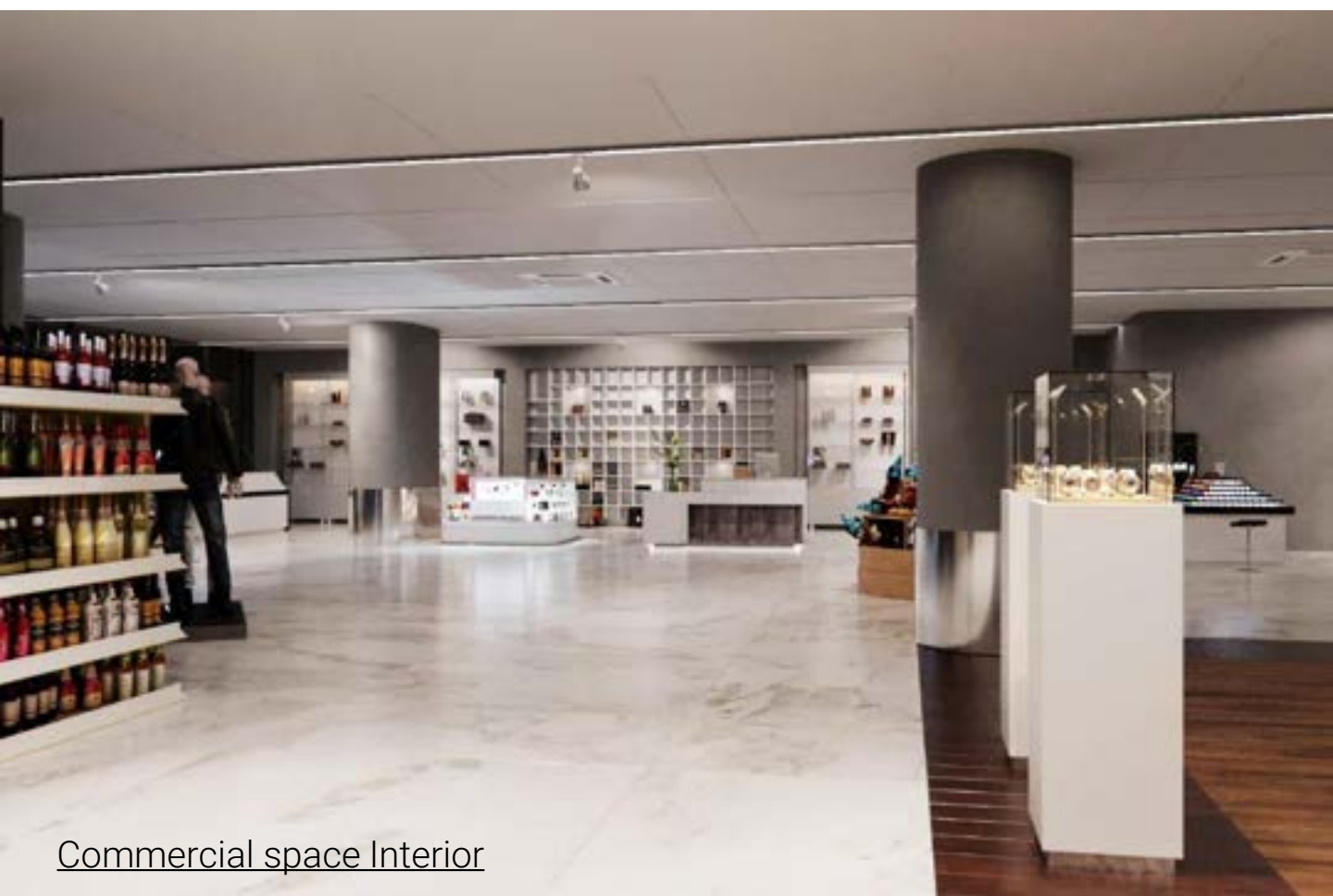


Café view with terrace

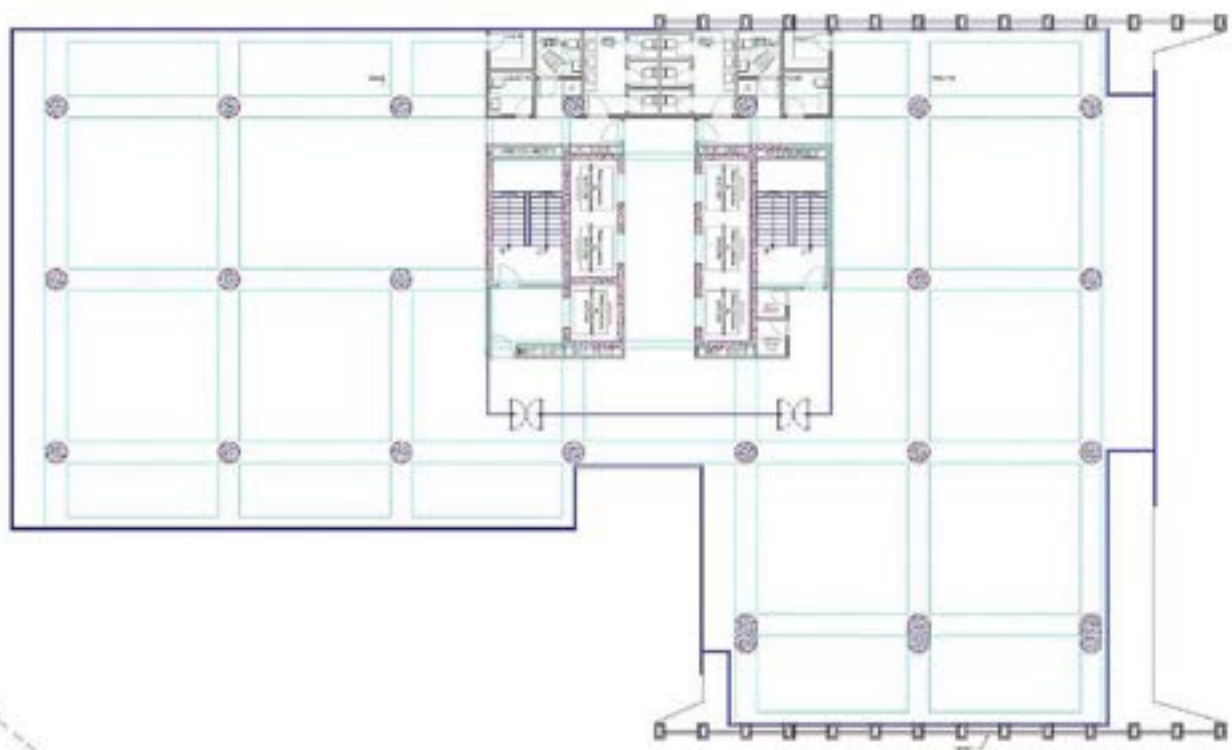




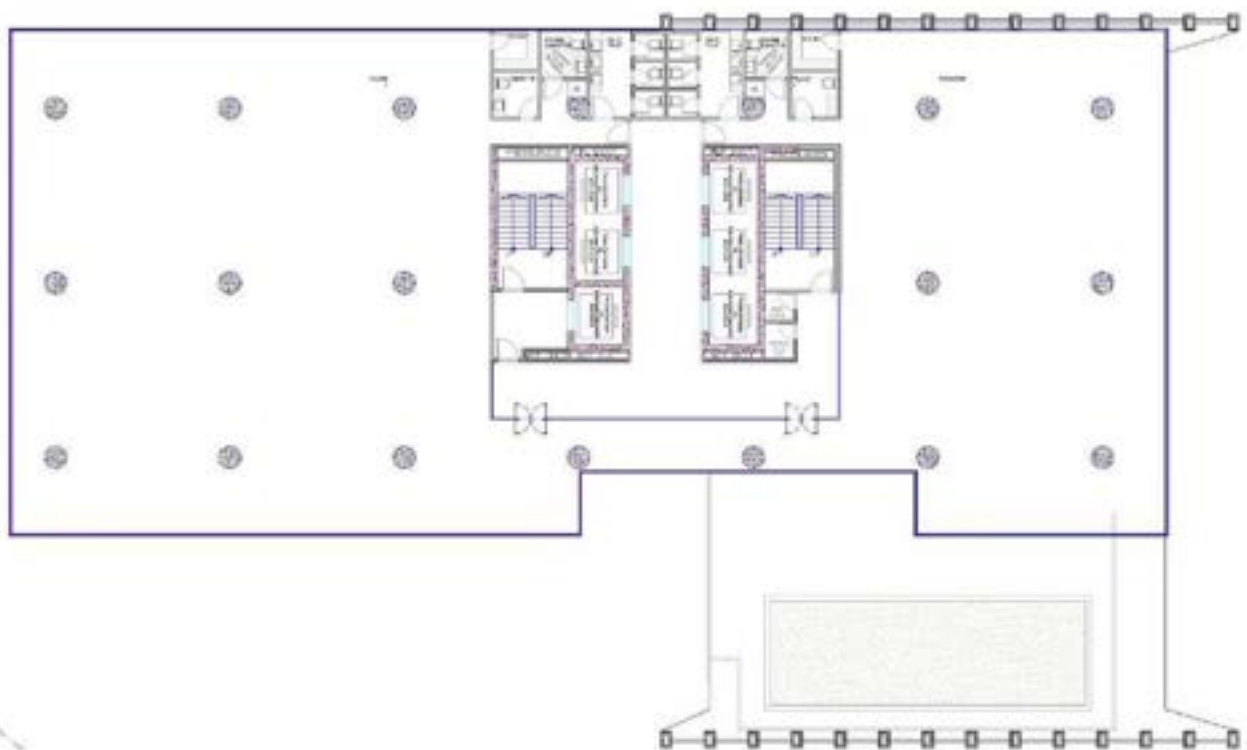
4TH TO 9TH FLOOR PRESENTATION PLAN



Commercial space Interior



11TH FLOOR PRESENTATION PLAN



12TH FLOOR PRESENTATION PLAN

Features & Amenities

CIVIL WORKS

- The building structure shall be R.C.C beam column framed structure in the R.C.C shear walls.
- Structural design shall consider earthquakes and winds intensity (210 kilometer per hour) as per Bangladesh National Building Code (BNBC).
- All Internal walls with ceilings shall be painted with smooth finish plastic paint and exterior surfaces shall be weather coat painted (Berger) with 3 coats over putty finished surface, unless design specifications as mutually agreed between both parties require otherwise.
- All interior walls are plastered 5” brick work. ***
- All curtain walls shall be of good quality with sufficient aluminum section with 6mm glass (imported Thai or Nikki).
- Double glazed glass in exterior windows.
- General floor shall be with good quality imported tiles.
- Unfinished general floor and unfinished ceiling.
- Reception with lobby area in ground floor shall be granite finished.
- Lift lobby in all other floors and stairs for the first 03 (three) floors shall be with granite of mutually chosen color by 1st Party/ Land Owner and 2nd Party/ Developer.
- Stairs in floors, other than the first 03 (three) floors, shall be of good quality imported nosing stair tiles.
- High quality low maintenance stainless steel railing with imported glass shall be provided in stairs as per approved design by 1st Party/ Land Owner.
- Roof shall have helipad facility to accommodate 06 (six) seater helicopters.

ELECTRICAL WORKS

- Electrical main distribution box with control panel switches and circuit breaker (Siemens/ ABB).
- Independent electric meter of DPDC/ DESCO as per requirement as per design.
- Provision of 02 (Two) group of independent telephone lines in each unit and additional lines in Basement-1 as per design.
- Provision of fiber optic broadband internet connection in 02 (Two) nos. commercial space in each unit and Basement-1 as per design.
- Provision of intercom system to connect 02 (Two) nos. commercial space in each unit to the concierge desk at ground floor and security booths in perimeters as per design.
- Provision of cable line in basement -1, and 02 (Two) nos. commercial spaces in each unit for satellite connection as per design.
- Provision of CCTV in Basement, ground floor and other levels and floors for coverage in convenient area as per design.
- Good quality imported electrical switch sockets, plug points, cable points, main switches, electrical distribution points. (MK-Singapore/ ABB).
- Standard quality wire in PVC conduit for electrical points. (Eastern Cable/ equivalent quality to be agreed between the parties).
- Adequate light points & power points in basement, Ground Floor, Lift Lobbies, Stairwells, Toilets and in all 02 (Two) nos. commercial spaces in each floor each unit as per electrical design.
- Provision of fiber optic drop in basement-1, Ground Floor and in all 02 (Two) nos. commercial spaces in each unit for data communication.

AIR CONDITIONING

- Central air-conditioning, utilizing Variable Refrigerant Flow (VRF) technology shall be provided in Basement-1 and for 02 (Two) commercial spaces in each floor as per HVAC design (York/ Carrier or equivalent).
- Design of the building shall ensure minimal loss of energy for high efficiency air conditioning.
- Design of the building shall ensure that in the event of total failure of air conditioning system, all basements and every commercial space in each floor unit shall have adequate, safe and healthy ventilation.

BATHROOM FEATURES

- Hot water lines in all bathrooms.
- Good quality imported tiles mutually chosen color by 1st Party/ Land Owner and 2nd Party/ Developer shall be used in all bathrooms.

UTILITY SERVICES:

- All utility service connections and disposals like sewerage, solid waste, and sludge shall be as per BNBC code.
- Electricity supply approx. 220/ 440V from DPDC/ DESCO authority with transformer, protective device, separate main cable, LT/ HT panel and distribution board as per electrical design.
- Water supply connection from WASA as per total calculation consumption of the building supplemented by appropriate capacity deep tube well.
- International standard and low sound standby generator with original canopy (Perkins/ Deutz/ Cummins) with auto-change over switch for supplying power in case of power failure for :
 - lift, water pumps
 - lighting in all common space, stairs and emergency exit stairs
 - intercom, telephone and internet systems provisions in Basement -1 and in all commercial spaces
- Adequate air conditioning in Basement -1, Ground floor and in each of the 02 (Two) commercial spaces in each unit consistent with other upmarket commercial building built/ under construction in Dhaka.
- all lights in parking area
- Adequate light, power and other points in all Basements, Ground Floor and all 02 (Two) commercial spaces in each floor all toilets as per unit as per design requirement.
- Good quality and six (06) number of lifts (Mitsubishi Shanghai/ Schindler/ Kone or equivalent) with at least one lift for furniture and goods with sync control and standard features as follows :
 - speed: 1.5 m / per second
 - Well-furnished and attractive door & cabin
 - stoppage: all floors
 - entrance: center opening door
 - Drive system: AC- VVV F.

DOOR FEATURES

- Main entrance door at each space entry of tempered glass with all necessary imported accessories as per architectural design.

SECURITY SYSTEMS

- Sliding main gates on all road facing sides.
- Security control booths at all main gates and entry/ exit points.
- Well-illuminated stairs at all levels.
- CCTV monitored basement car parks.

- 24 hours surveillance cameras with infrared capability at all main entrance gates, perimeter walls, basement level car parks, entrance lobby/ reception, roof top, lift lobbies on all floors with playback facility for 2 weeks.

GENERAL AMENITIES OF COMMERCIAL COMPLEX

- International standard firefighting system with smoke detectors, high speed fire hose and high velocity pumps shall be provided in each floor and in all Basements.
- Well illuminated emergency exit stairs shall be provided covering all floors with access via fire doors.
- Termite protection of the building from basement underground area.
- Damp proof courses (where necessary).

MAJOR STRUCTURAL MATERIALS

- Cement : MIR
- Steel : Deformed- 72.50/60 Grade shall be used in all structural members. Manufacture by BSRM/ AKS/ GPH.
- Chips : Stone chips/aggregates (imported, Dubai) or other locations of comparable quality.
- Brick : Concrete bricks/ 1st Class Bricks (machine made Fakhri/ equivalent quality bricks).
- Picked Jhama : 1st Class picked/ machine made picked jhama.
- Coarse Sand : Sylhet, Coarse Sand.

Note: Items specified in this Annexure shall be supplied by the 2nd party/ Developer as per market availability. In case of non-availability or shortage of supply of any specified item(s), equivalent item(s) (in terms of price and quality) shall be used by the 2nd party/ Developer in consultation with 1st party/ Land Owner.

POST HAND OVER SERVICES

The following after-sale services shall be provided by the 2nd Party/ Developer from the date of project completion and handover:

- 18 (eighteen) months free repair, rectification & maintenance of all issues and problems arising out of use of any inferior material and or inferior goods & products, inappropriate/ unsuitable/ flawed design, poor workmanship in and of the project.
- Supervision of buildings and repair/ rectification of any defect by a qualified and experienced engineer for 18 (eighteen) months after hand over of the project.
- Payment for common utility charges for 03 (three) months.

Terms & Conditions

1. All interested buyers will need to apply for allotment in prescribed application form. Allotment will be made on a first come first served basis, and will only be considered valid after the deposit of the No-Refundable Earnest Money. The company reserves the right to accept or reject any application without assigning any reason thereof.
2. On acceptance of an application, Mir Real Estate Ltd. will issue an allotment letter of the application with specific terms and conditions. The applicant/allottee shall then start making payments as per agreed schedule of payment by Account Payee Cheque/ Pay orders in favor of Mir Real Estate Ltd. Bangladeshis residing abroad may remit payments by TT and DD.
3. Payments of installment, car park cost and all other charges are to be made on due dates. MIR REAL ESTATE LTD. may issue reminders to the allottee but, notwithstanding the issue of reminders, the allottee must adhere to the Schedule of Payment to ensure timely completion of project.
4. Delay of payments beyond the due date will make the allottee liable to pay a delay charge of 2 (Two) % per month on the amount of payment delayed. If the payment is delayed beyond 30 days MIR REAL ESTATE LTD. shall have right to cancel the allotment. In such an event the amount paid by allottee will be refunded after deducting the Earnest Money, after the re-sale of the apartment.
5. After confirmation of allotment, the buyer has to sign the Deed of Agreement with the seller within 30 (Thirty days from the date of making the payment of Non-refundable Earnest Money.
6. Allotment of car parking will be made in accordance with the date of full payment, from the car parking spaces owned by MIR REAL ESTATE LTD.
7. Utility fees/ charges, security deposit & other incidental expenses relating to gas, water-sewerage and electricity are not included in the price of apartment. These payments will be made by MIR REAL ESTATE LTD. directly to the authorities concerned, on the allottee's account. The allottee will be billed proportionately on actual cost basis.
8. Changes in the specification, design and/or layout of the apartment and other facilities may be made by MIR REAL ESTATE LTD. in overall interest of the project or due to unavoidable circumstances.
9. MIR REAL ESTATE LTD. may cancel an allotment on non-payment of installment in disregard of reminders and after final notice to allottee by registered post of the address given in the application form.
10. The possession of each apartment shall be duly handed over to the allottee on completion and on full payment of installments and other charges and dues. Till then the possession will rest with MIR REAL ESTATE LTD.
11. The allottee will pay stamp duties, registration fee, documentation charges and any other taxes, VAT and expenses likely to be incurred in connection with the Deed of Agreement, Allotment, Registration, Transfer etc. The allottee will be charged with the actual cost amount.
12. After taking over the apartment or the project, the allottee must consult MIR REAL ESTATE LTD. prior to under talking any structural or layout changes with the apartment complex. Failure to do so will hold the allottee exclusively responsible for any damages caused by such changes.
13. The construction period of the project can be affected by "Force Majeure", i. e. unavoidable circumstances which include Act of Allah like natural calamities and political disturbance, war, strikes and changes in the fiscal policy of the state, materials scarcity, unusual price escalation and any other phenomena beyond the control of MIR REAL ESTATE LTD.
14. If, for any reason beyond the control of MIR REAL ESTATE LTD, implementation of the project is abandoned, MIR REAL ESTATE LTD. will refund to the allottee the earnest money and all installments deposited within 90 (Ninety) days from the date of announcement made to this effect. In this eventuality, the allottee will not be entitled to interest on their money, any other claims or damage what-so-ever.
15. The allottee, after full payment of dues, will elect from among themselves a board of Management for managing the general affairs in the common interest. Each allottee must deposit Tk. 50,000 (Fifty thousand) only for each allotment of unit towards the Reserve Fund for this board.

**Disclaimer: All images and drawings are indicative and used for presentation purposes; these may be changed due to technical reasons.*