



MIR REAL ESTATE LTD.

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General Disclaimer:
The information contained in this Brochure and Plans are subject to change as
may be required by the authority or the project architect. All measurements
are approximate. All illustrations are artists impression only.

mir Shohag Garden

at Monipuripara



MIR REAL ESTATE LTD.
www.mirrealestate.com

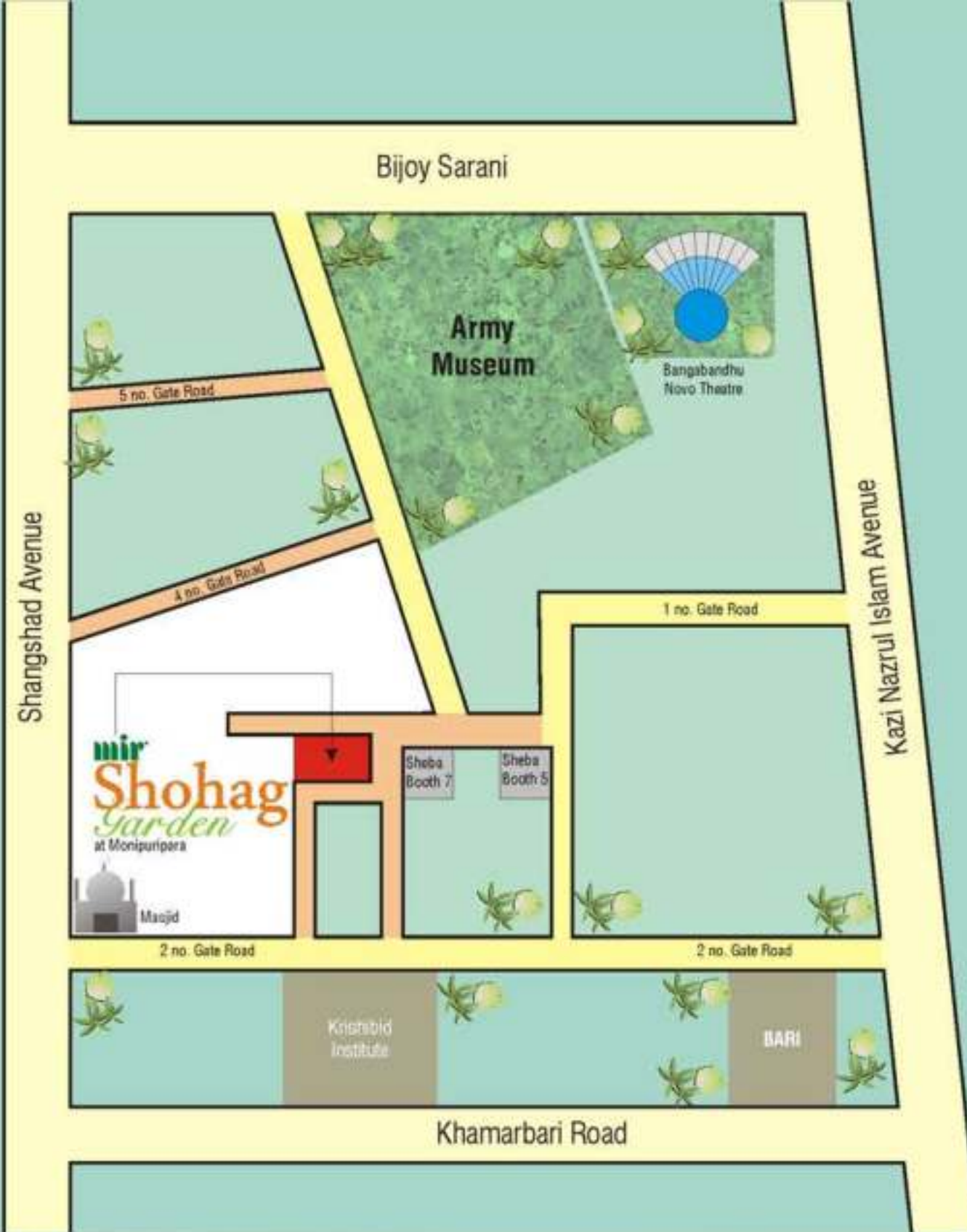


An unique approach to an urban living. Mir Shohag Garden is located at plot # 71, Monipuripara. It is a 8 storied residential building consisting of 28 apartments, surrounded with one of a kind friendly community. Consists of 28 Parking space available on ground floor and basement. Mir Shohag Garden meets the unique needs of today's apartment buildings- and their residents. The building is equipped with a 24 hours security provision with installed CCTV in ground floor for security coverage in Parking area, main gate and lift lobby area. The ground floor reception area & lobby will include standard marble/granite finished flooring, kitchen features glazed homogeneous floor tiles, granite finished counter tops in kitchen, and energy efficient appliances. Mir Shohag Garden Apartments offer you an environment full of life and a feeling of being cared for that you only find at home.

Project at a Glance

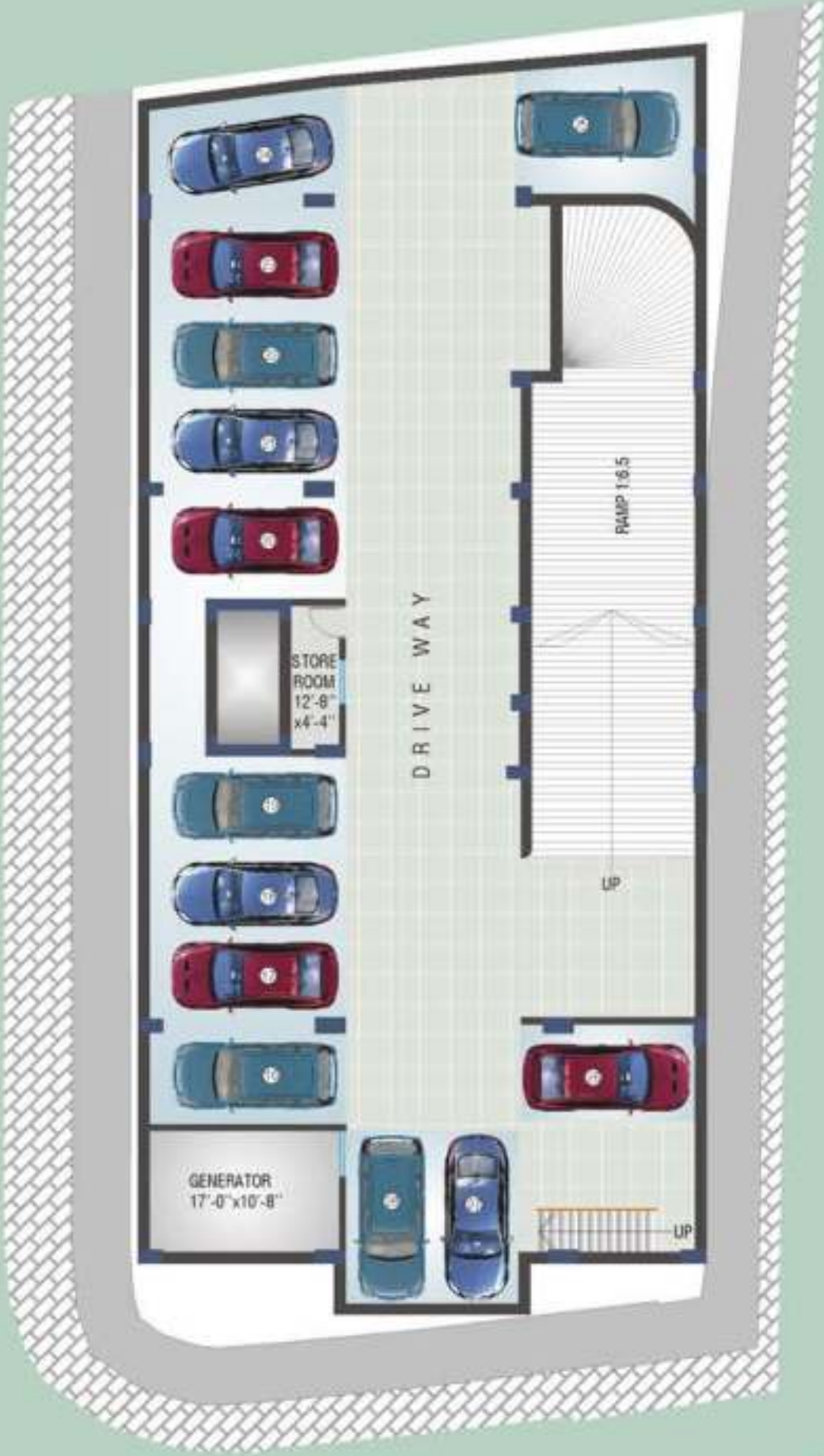
Address:	71, Monipuri Para, Shangshad Avenue, Dhaka
Type:	Residential
Size of Land:	11.127 Katha.
Building Height:	Basement+Ground+7 storied
Flat Size:	1340sft, 1315 sft, 1125 sft. & 1100 sft. (Approx.)
No. of Flat:	28 Nos.
No. of Car Parking:	28 nos.
Expected Completion:	2019

Location Map



Disclaimer: All perspective views, images, & drawings are indicative and used for presentation purposes; these may be changed due to technical reasons.

Floor Plan
Basement
(Parking)



Floor Plan
Ground Floor
(Parking)



Floor Plan

First Floor

A-1340 sft. (approx)
B-1215 sft. (approx)
C-1590 sft. (approx)
D-610 sft. (approx)



Floor Plan

2nd-7thFloor

A-1340 sft. (approx)
B-1315 sft. (approx)
C-1125 sft. (approx)
D-1100 sft. (approx)



UNIT plan A

1340

sft (approx)



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UNIT plan B

1315

sft (approx)



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UNIT plan 1125 sft (approx)



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UNIT plan 1100 sft (approx)



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Features & Amenities



CIVIL WORKS

- The building structure will be reinforced Cement Concrete (RCC) frame structure with slab.
- Structural design will be based on the American Concrete Institute (ACI) and Bangladesh National Building Code (BNBC) as well as latest international seismic design provisions.
- Lime terracing on rooftop to protect overheating.
- All outer walls will be 10" brickwork with smooth plaster.
- All internal walls will be 5" brickwork with smooth plaster.
- Exterior wall will be painted with weather coat paint.
- Internal paint will be Plastic paint.
- All floors will be 24" X 24" MIR Homogeneous tiles.
- Safety grills in windows with mosquito & fly proofing net.
- Sliding windows as per Architectural Design of the Building.
- Aluminum window with matching glass with mohair lining.
- Safety grills in the verandah as per the architectural design of the building (MS & SS combination).
- Good quality picket (superstructure except column) and Stone chips (for the column, footing, grade beam) will be used as per structural design requirement.
- First class bricks / concrete bricks will be used in the walls.
- 60 / 72 grades deformed bar will be used in the structure.
- MIR Cement will be used.

BATHROOM FEATURES

- Standard quality sanitary wares in all bathrooms (RAK/Equivalent) except maid's toilet.

- Standard good quality chrome plated (CP) fittings with shower mixer and basin mixer in master and 2nd bathroom.
- Standard quality one soap case, one paper holder, push shower and one towel rail in all bathrooms (except maid's bath).
- MIR/RAK/FU-Wang/Akij glazed ceramic wall tiles up to false ceiling.
- Matching MIR/RAK/FU-Wang/Akij/CBC/GreatWall ceramic floor tiles in all bathrooms except maid's toilet.
- Mirror in all bathrooms with overhead lamp points.
- Pedestal Basin with the combi set in all toilets (except maid toilet).
- Provision for Hot water lines in Master Bathroom and 2nd Bathroom.
- Ceramic tiles on floor & wall up to 7'-0" height at the maid's bath wall with long pan, shower & lowdown.
- Best quality PVC fittings will be used (A1/Matador/RFL/N.POLY/Suchona).

KITCHEN FEATURES

- Impressively designed platform with granite finished worktop.
- Standard quality MIR/RAK/FU-Wang/Akij/CBC /GreatWallGlazed Ceramic wall tiles up to 7'-0" height.
- Double burner gas outlet.
- Glazed Homogeneous floor tiles.
- One stainless steel countertop sink (single bowl, single tray) with mixer.
- Suitably located one exhaust fan point.
- Washing area in kitchen verandah with tile finish.
- Provision for hot water lines in kitchen sink.
- Space for kitchen hood provision with plug point.
- Plug point for oven.



Features Amenities

ELECTRICAL WORKS

- Good quality MK Type/EnergyPack/SuperStar electrical switches & sockets.
- Imported electrical sub distribution box (SDB) with circuit breaker.
- Provision for air-conditioner in Master bed, 2nd bed & living area.
- Plug points for electrical geyser in Master bath, 2nd bath & kitchen.
- Standard quality concealed cable wiring for intercom, telephone, and cable connection.
- Each apartment shall have one telephone line with provision in Living room.
- All Power Outlets with earthing connection.
- Electrical plan in each apartment with adequate points.

DOORS

- Solid Chittagong teak decorative main entrance door shutter with -
 - ▲ Chittagong teak solid wooden door frame
 - ▲ Check viewer, Door Chain, Door Knocker
 - ▲ 01 Door handle Lock and 01 good quality security lock.
 - ▲ Calling bell switch of good quality
 - ▲ Apartment Number Plate
- Internal door shutter (except the maid's toilet) of teak chambule veneer flush door shutters (HATIL/OTOBI/PARTEX/RFL) with French polish.
- For Verandah & toilet door shutter will be teak chambule veneer flush door shutter with lacquered in appropriate side (HATIL/OTOBI/PARTEX/RFL).
- All internal door frames of seasoned Mahogany/Shikora wood with French polish.
- Maid's bathroom door of Plastic door shutter and frame.
- All internal doors with good quality mortise lock with one tower bolt (except maid toilet).

OTHER FEATURES

- Imported 2 (Two) nos. 08 (Eight) passenger capacity International standard Lifts (Fuji/Sigma/Daewoo/Hyundai/Otis).
- Intercom.
- TITAS gas supply as per design and subject to approval by proper authority.
- DESA/DESCO power supply as per design and subject to approval by proper authority. (Load upto 8 kilo watts per flat)
- WASA Water supply as per design and subject to approval by proper authority.
- 01 lifting water pump for water supply and 01 standby water pump for emergency.
- Electrical Substations approved by proper authority.
- Properly earthen power lines.
- 2 nos. Fire extinguishers on each floor.
- Standard granite/marble finished in ground floor reception area and lobby.
- Marble/Granite/Wooden finished concierge desk.
- Cloth drying line at rooftop.
- Glazed nosing Homogeneous tiles in all staircases and lobby.
- False ceiling on ground floor with lighting.
- Pest control & DAM proof will be used in foundation.
- One Standby auto start emergency Generator (Perkins/Cummins) with sound reducing canopy for operation in Case of Power Failure of:
 - ▲ Lifts
 - ▲ Water Pumps
 - ▲ Lighting in drive Way, gate, boundary wall, lift lobby, stair and other common spaces
 - ▲ One light and one Fan Point in all bedrooms and one Light point in living, dining&Kitchen in each apartment (Total 9 points)

AFTER SALE SERVICE:

- Preparation of Bye Laws and formation of Apartment Owners Association
- Recruitment and training of Association staffs.
- Development of bill collection and paying systems
- 12 (Twelve) months free repair & maintenance of technical problems.

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Terms Conditions

1. All interested buyers will need to apply for allotment in prescribed application form. Allotment will be made on a first come first served basis, and will only be considered valid after the deposit of the Non-Refundable Earnest Money. The Company reserves the right to accept or reject any application without assigning any reason thereof.

2. On acceptance of an application, MIR REAL ESTATE LTD. will issue an allotment letter of the application with specific terms and conditions. The applicant/allottee shall then start making payments as per agreed schedule of payment by Account Payee Cheque/ Pay orders in favour of Mir Real Estate Ltd. Bangladeshis residing abroad may remit payments by TT and DD.

3. Payments of installment, car park cost and all other charges are to be made on due dates. MIR REAL ESTATE LTD. may issue reminders to the allottee but, notwithstanding the issue of reminders, the allottee must adhere to the Schedule of Payment to ensure timely completion of project.

4. Delay of payments beyond the due date will make the allottee liable to pay a delay charge of 2 (Two) % per month on the amount of payment delayed. If the payment is delayed beyond 30 days MIR REAL ESTATE LTD. shall have right to cancel the allotment. In such an event the amount paid by allottee will be refunded after deducting the Earnest Money, after the re-sale of the apartment.

5. After confirmation of allotment, the buyer has to sign the Deed of Agreement with the seller within 30 (Thirty) days from the date of making the payment of Non-refundable Earnest Money.

6. Allotment of car parking will be made in accordance with the date of full payment, from the car parking spaces owned by MIR REAL ESTATE LTD.

7. Utility fees/ charges, security deposit & other incidental expenses relating to gas, water-sewerage and electricity are not included in the price of apartment. These payments will be made by MIR REAL ESTATE LTD. directly to the authorities concerned, on the allottee's account. the allottee will be billed proportionately on actual cost basis.

8. Changes in the specification, design and/or layout of the apartment and other facilities may be made by MIR REAL ESTATE LTD. in over all interest of the project or due to unavoidable circumstances.

9. MIR REAL ESTATE LTD. may cancel an allotment on non-payment of installment in disregard of reminders and after final notice to allottee by registered post of the address given in the application form.

10. The possession of each apartment shall be duly handed over to the allottee on completion and on full payment of installments and other charges and dues. Till then the possession will rest with MIR REAL ESTATE LTD.

11. The allottee will pay stamp duties, registration fee, documentation charges and any other taxes, VAT and expenses likely to be incurred in connection with the Deed of Agreement, Allotment, Registration, Transfer etc. The allottee will be charged with the actual cost amount.

12. After taking over the apartment or the project, the allottee must consult MIR REAL ESTATE LTD. prior to under taking any structural or layout changes with the apartment complex. Failure to do so will hold the allottee exclusively responsible for any damages caused by such changes.

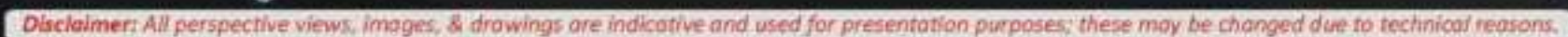
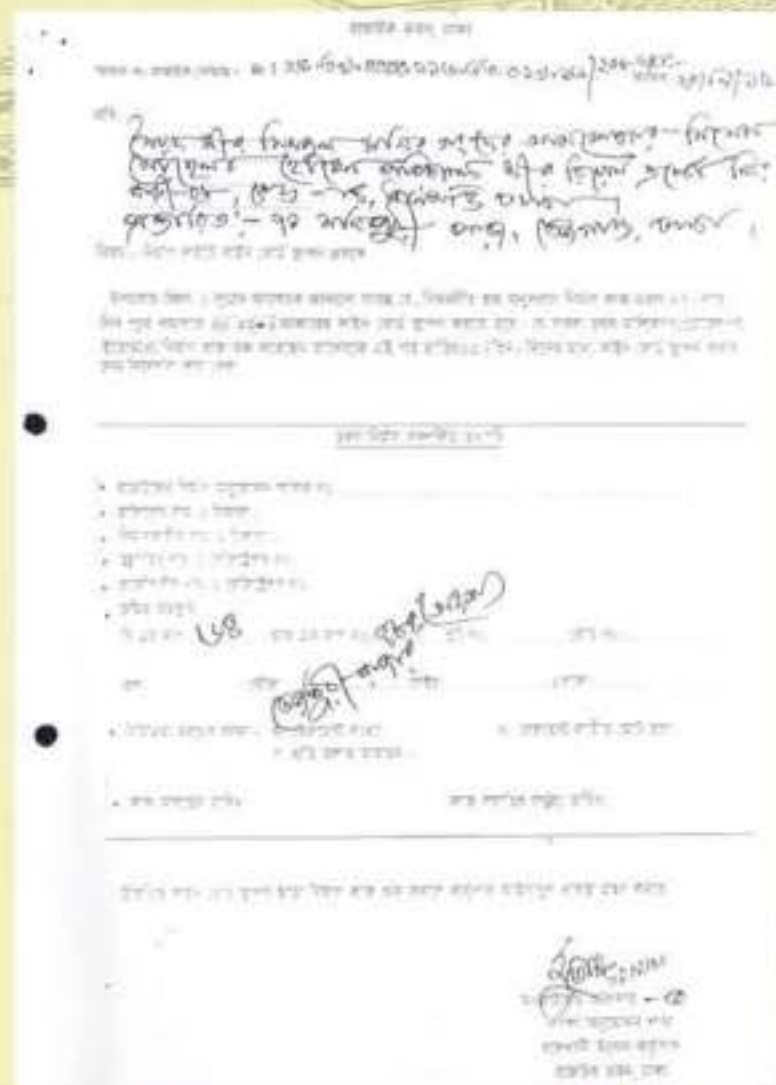
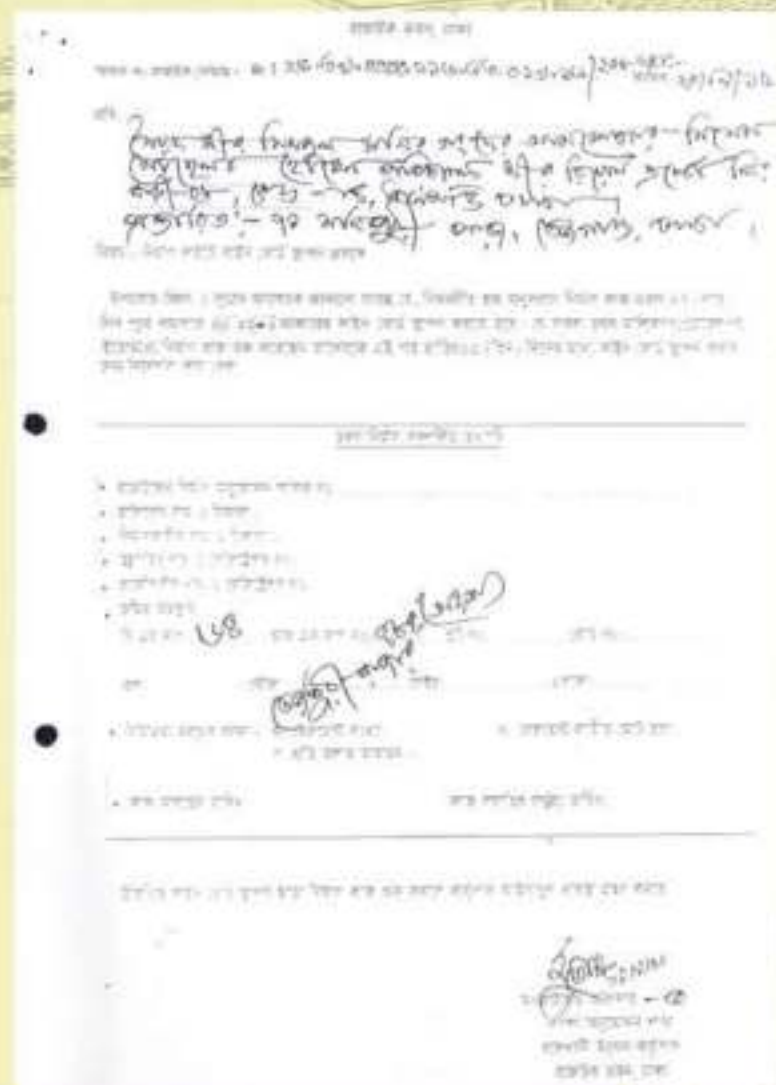
13. The construction period of the project can be affected by "Force Majeure", i. e. unavoidable circumstances which include Act of Allah like natural calamities and political disturbance, war, strikes and changes in the fiscal policy of the state, materials scarcity, unusual price escalation and any other phenomena beyond the control of MIR REAL ESTATE LTD.

14. If, for any reason beyond the control of MIR REAL ESTATE LTD, implementation of the project is abandoned, MIR REAL ESTATE LTD. will refund to the allottee the earnest money and all installments deposited within 90 (Ninety) days from the date of announcement made to this effect. In this eventuality, the allottee will not be entitled to interest on their money, any other claims or damage whatsoever.

15. The allottee, after full payment of dues, will elect from among themselves a board of Management for managing the general affairs in the common interest. Each allottee must deposit Tk. 25,000 (Twenty Five Thousand) only for each allotment of apartment towards the Reserve Fund for this board.

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